

HomePro Inspection Inc

Knowledge

Experience

Integrity

PROPERTY INSPECTION REPORT



Thank you for trusting me to perform your inspection so that you may
Know What I See!



New but inspected after moving in
Inspection prepared for: Builder Warranty
Inspection Date: 4/1/2011 Time: 8:30 AM
Age: Built 2010
Weather: Overcast

Inspector: Roger Williamson
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INSPECTION AGREEMENT

Major Structural and Electromechanical Inspection

COMPANY agrees to conduct an inspection for the purpose of informing the CLIENT of major deficiencies in the condition of the property in accordance with the American Society of Home Inspectors (ASHI) and the State of Tennessee STANDARDS. The inspection and written report are performed and prepared for the sole, confidential and exclusive use and possession of the CLIENT; the report is nontransferable.

The written report will include the following only:

- * general exterior, including roof, siding, windows, chimney, drainage and grading
- * structural condition of foundation & frame
- * electrical, plumbing, hot water heater, heating and air conditioning
- * general interior, including ceilings, walls, floors, windows, insulation and ventilation

Maintenance and other items may be discussed but they are not a part of the inspection. The report is not a compliance inspection or certification for past or present governmental codes or regulations of any kind and is only based on the inspectors opinions.

It is understood and agreed that the inspection will be of readily accessible areas of the building and is limited to visual observations of apparent conditions existing at the time of the inspection only. Latent and concealed defects and deficiencies are excluded from the inspection; equipment, items and systems will not be moved or dismantled. Detached structures are not included. The COMPANY will be under no obligation under any circumstances for any further follow-up inspection.

ENVIRONMENTAL HAZARDS including Asbestos, Mold, Fungus, Lead, Radon, Cockroaches, Rodents, Pesticides, Treated Lumber, Mercury, Carbon Monoxide, Urea Formaldehyde, Toxic Wastes, Polluted Water, Contaminants and all Pollutants and Hazardous Materials or other similar environmental hazards are not part of this Home Inspection. In addition, no inspection for household insects or unwanted animals will be done.

This report does not address Subterranean Systems or system components for Sewage Disposal, Water Supply, or Fuel Storage or Delivery. Auxiliary systems such as Alarm, Security, Intercom, other low voltage wiring, Private Water, Sprinkler, Elevator, Central Vacuum, Refrigerators, Laundry Equipment, Solar, Swimming Pools, Hot Tubs, Saunas, Space Heaters, Window Air Conditioners and or any system not considered a part of the major building systems are not a part of the inspection process.

The parties agree that the COMPANY, and its employees and agents, assume no liability or responsibility for the cost of repairing or replacing any unreported defects or deficiencies, either current or arising in the future, or for any property damage, consequential damage or bodily injury of any nature. THE INSPECTION AND REPORT ARE NOT INTENDED AS A GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED INCLUDING REGARDING THE ADEQUACY, OR PERFORMANCE OF ANY INSPECTED STRUCTURE, ITEM OR SYSTEM. THE COMPANY IS NOT AN INSURER OF ANY INSPECTED CONDITIONS.

It is understood and agreed that should COMPANY and/or its agents or employees be found liable for any loss or damages resulting from a failure to perform any of its obligations, including but not limited to negligence, breach of contract or otherwise, then the liability of COMPANY and/or its agents or employees, shall be limited to a sum equal to the amount of the fee paid by the CLIENT for the Inspection and Report.

The parties agree that the faxed copy of the agreement is to be relied upon in lieu of the original.

Roger T. Williamson
Roger T Williamson
ASHI Certified Member # 204213
TN License # 226
Proud Member of the BBB

HOW TO READ THIS REPORT

This report is prepared with digital photos and therefore a faxed copy is not equivalent to the original and should not be utilized. The inspector when allowed posts the Home Inspection Report for download to the website www.HomeProInspection.com.

This report is prepared using the Standards of Practice set forth by The American Society of Home Inspectors and The Tennessee Department of Commerce. A full copy of these standards is available at their respective websites: ASHI.org and Tennessee.gov.

This report lists and describes specific attributes about the inspected property. Throughout the report you will find information regarding maintenance, upgrades or repairs that you should consider and act on when appropriate.

PHOTOS

Photos included in this report are intended to help describe a reported item or area only. The photos, while representative, may not encompass the full scope of work required to correct the item or area listed. Repairs should be based on actual condition of property and not solely on the photos included in this report.

SUMMARY

For convenience the report contains a summary. You should evaluate your risk exposure for the items listed here and appropriately schedule proper repairs by qualified competent contractors.

Occasionally the inspector may also include a reminder NOTE TO CLIENT in the summary to let you know to obtain certain documentation or if the utilities were off during the inspection.

ACCEPTABLE

In the body of the report you will see items listed as ACCEPTABLE. This term is used for items that are typically stationary, non mechanical and considered generally serviceable within the parameters of their given service life. Cosmetic appearance is not taken into account when rating an item as Acceptable.

HAZARDOUS

Items listed as hazardous pose imminent danger to the inspected property or occupants. Hazardous situations should be properly corrected by qualified competent contractors before occupying the property.

PERIODIC MAINTENANCE NEEDED

In the body of the report you may see items listed as PERIODIC MAINTENANCE NEEDED. These items are not unusual for the type and age property inspected. Some of these items may be recurring maintenance that has been postponed. You should evaluate your risk exposure for the items listed here and appropriately schedule proper repairs by qualified competent contractors.

MONITOR

In the body of the report you may see items listed as MONITOR. Typically these are items or areas that need subsequent observations and should be monitored over time to obtain historical data. These items may or may not require correction in the future based upon their performance over time. If you are unable to do the monitoring the inspector recommends you appropriately schedule monitoring by a qualified competent contractor.

PRE-DATE

In the body of the report you may see items listed as PRE-DATE. These items or areas are where construction may have been completed before the current safety standards were in place or in some cases where local code variances may exist. You should evaluate your risk and liability exposure for these items or areas and consider upgrading for safety or function.

Outdoor Areas

The following opinion is based on an inspection of the readily accessible and visible portions of the outdoor areas. Any exterior conditions requiring correction should be performed by a competent qualified contractor.

1. Site

Adjust Grade - Some landscape grade work may improve storm water run off away from foundation. Slope grade minimum ten feet away from and around structure so that water does not collect at home.

2. Vegetation

Grass, shrubs and trees near dwelling were observed

No adverse conditions were observed

3. Driveway

Material:

Concrete

Cracked Acceptable

4. Walkway

Observations:

Concrete

Cracked Acceptable

5. Porch

Material:

Concrete

Covered

No adverse conditions were observed

6. Patio

Concrete

Tile

Partially Covered

No adverse conditions were observed

Exterior

The following opinion is based on an inspection of the readily accessible and visible portions of the exterior and exterior surfaces of the structure. Any exterior conditions requiring correction should be performed by a competent qualified contractor.

1. Exterior Entry Doors

Material:

Metal Clad

Wood

Exterior doors were operated and were found generally serviceable within the parameters of their given service life.

2. Covered Parking Condition

Attached Garage

Installed drywall was observed on the garage ceiling framing. This offers some protection against the spread of fire from the garage to other areas.

Installed drywall was observed on the walls that separate the garage and living space framing. This offers some protection against the spread of fire from the garage to other areas.

Garage floor

Cracks expansion/settlement - Noticeable cracking was observed. This is not unusual. Monitor and repair as needed.

3. Garage Overhead Door

Sectional

Insulated

Garage overhead door was tested using electric operator.

4. Garage Overhead Door Operator

Electric Operator

Non-Contact Reversal Satisfactory - The electronic eye of the operator was tested and found to be functioning normally.

PERIODIC MAINTENANCE NEEDED

Contact Reversal Failed - The contact reversal was tested using a 1.5 inch obstruction on the floor at the center of the door. The operator pinned the obstruction without reversing. Adjust the force of the operator or the door mechanics as needed for proper operation and safety.

5. Eaves

Material:

Painted

ACCEPTABLE

6. Siding - Masonry

Brick Veneer

Painted

Cracks Minor - Some cracks were noted that are minor in nature. Small settlement cracks are a common occurrence and can be repaired, providing that the settlement has stopped.

7. Siding - Stone

Material:

Adhered Concrete Masonry Veneer

The exterior of the home was inspected and the siding appears to be in overall good condition. No immediate repairs are needed at this time.

8. Trim

Material: Wood where installed

Repainting new homes - All painted exterior surfaces subject to decay on newer homes should be properly cleaned, caulked and repainted within the first three years after the home is built to preserve these components. Subsequent paintings are typically scheduled every 8-10 yrs.

Roofing

The following opinion is based on an inspection of the readily accessible and visible portions of the roof on the day of inspection. This inspection is not a warranty of the roof system or a determination of how long it may be water tight. Any roof conditions requiring correction should be performed by a competent qualified contractor.

1. Access/Weather

Access:

Inspector walked portions of roofing

Some roofing observed at window

Viewed from ground with binoculars

Weather was overcast during inspection

0-3 Years old

Hip

Gable

Shed

2. Roof Covering

Type of roofing installed

Composition Shingle

The roof covering was found generally serviceable within the parameters of its given service life. No immediate repair concerns were observed.

Small holes observed patched - This is likely to fill holes where for walk boards or equipment stands used during construction. Monitor areas repairing further if necessary.

3. Roof Penetration

Plumbing Vents - MONITOR this type of penetration as the gasket about the plumbing waste pipe penetrating the roof requires periodic maintenance. Budget replacement of plumbing vent gaskets as they begin to split. This is needed each 8-10 years after the roof is installed.

4. Flashing

Metal where visible

5. Gutters / Downspouts

Material:

Metal

Discharge near foundation - One or more downspouts are discharging close to the foundation. This may cause water to enter the building. It is recommended that all downspouts be extended to allow water to flow quickly away from and around structure. Correct as needed.

6. Chimney

Materials:

Metal Fabricated Type

Top of chimney was not accessed by inspector

Attic

The following opinion is based on an inspection of the readily accessible and visible portions of the attic. Attic conditions requiring correction should be performed by a competent qualified contractor.

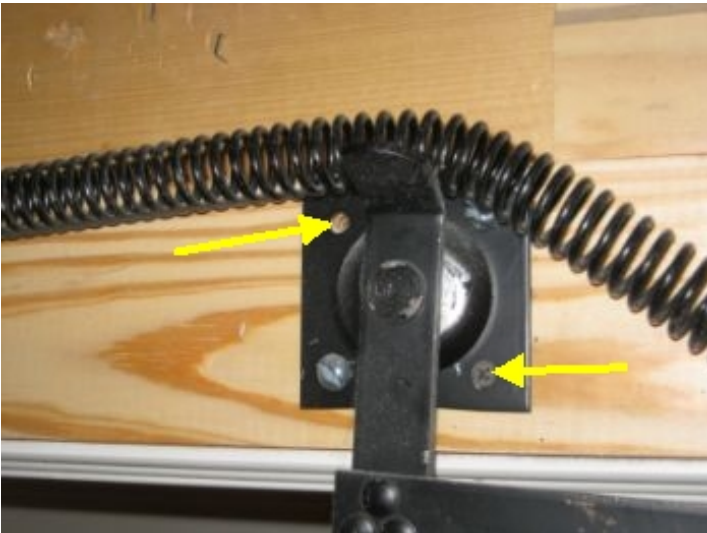
1. Attic Access

Pull down stairs to attic

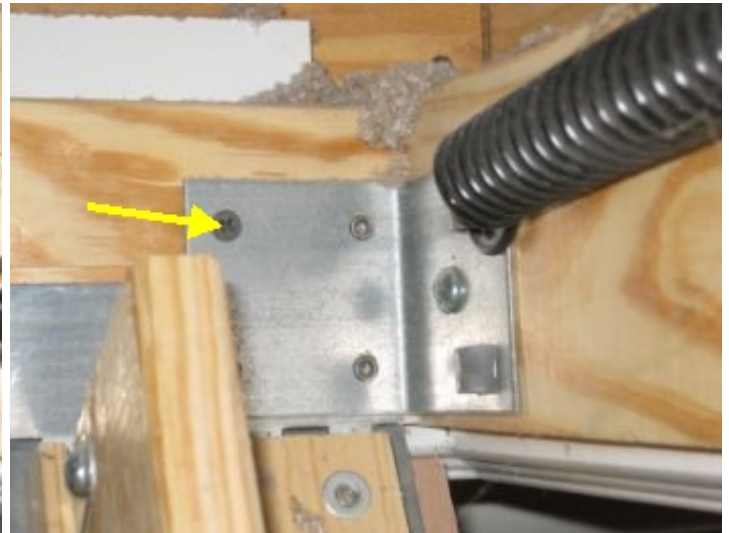
Pull down stair nails - Attic pull down steps are missing required 16d nails at metal spring arm pivot plates and corner brackets near the piano hinge. These should be properly nailed for safety. Refer to installation instructions and correct as needed.

Pull down stair small screws - Small screws should not be used to attach pull down attic steps to structural framing. Typical instructions require 16d nails or 1/4" diameter three inch long lag screws. A competent contractor should refer to instructions and correct for safety and to prevent collapse of attic steps.

Instructions not followed - The observed installation appears irregular and may not meet the manufacturer installation instructions provided with the item. Refer to the instructions and properly correct installation as needed for safety and function.



Spring Arm Pivot Plate - Small screw shown at right arrow where nail is required, nail missing at left arrow where opening is visible



Corner Bracket has small screw installed where nail is required

2. Attic Framing

Wooden Rafters

Some roof rafters have large open gaps where rafter should meet ridge board. Some rafters have shims between rafters and ridge board. Since home is nearly new construction the inspector recommends installing sister rafters of no less than six foot in length at all areas where rafters have gaps or have shims to prevent unwanted settlement. Use proper size and quantity nails in a staggered pattern to properly share load of original rafter and sister rafter.



Top arrow shows large gap where rafter should meet ridge board, lower arrow shows shim where rafter should meet ridge board

3. Wall Insulation

Cellulose

Where visible

4. Attic Insulation

Blown

Cellulose

In 2006 attic insulation standards set by the Department of Energy for this part of the country were increased to R-49 to help lower energy use. Local minimum insulation requirements may be less than DOE standards and often are R-30.

R-30 attic insulation observed

R-19 attic insulation observed where compressed or floored

5. Attic ventilation

Soffit Vents

Ridge Roof Vent

Foundation

The following opinion is based on an inspection of the readily accessible and visible portions of the foundation. Foundation conditions requiring correction should be performed by a competent qualified contractor.

1. Foundation Access

Finished areas restricted view of structural components

Scuttle hole to crawl space

2. Floor Insulation

Roll Fiberglass where installed at crawl space

3. Foundation

Materials:

Concrete block foundation walls

Observations: Cracks Minor - Some cracks were noted that are minor in nature. Small settlement cracks are a common occurrence and can be repaired, providing that the settlement has stopped.

4. Crawl Space Floor Framing

Materials:

Insulation Installed - Visibility limited due to installed insulation in this area.

Ductwork Installed at crawl space - Visibility limited due to installed ductwork in this area.

Floor Joist - Solid Wood

Beam - Built-up Wood

Beam - Engineered Laminated Wood

Sub floor - OSB

Observed at floor joist sacrificed for water heater flue

Sacrificed Floor Framing - Wood framing noted sacrificed in area listed. Usually this is to accommodate plumbing, electrical or heat/air installation. Area viewed has not been properly braced to restore strength of framing sacrificed. Additional repair is recommended.

Observed at area near rear patio at abandoned crawl space vent

Suspect fungi observed - The inspector recommends further evaluation by a specialist properly correcting as needed. The presence of fungus is typically a secondary condition being the result of an excess moisture condition in the area. The first step in correcting a fungus condition is to determine the source of moisture and eliminate it, if possible.



Observed at floor joist sacrificed for water heater flue
Sacrificed Floor Framing - Wood framing noted sacrificed in area listed. Usually this is to accommodate plumbing, electrical or heat/air installation. Area viewed has not been properly braced to restore strength of framing sacrificed.
Additional repair is recommended.

Suspect fungus in crawl space near rear patio, X drawn to shown surface growth rather than staining at floor joist

5. Column

Observations: Concrete Block - verify with house plans whether proper shims should be added at lam beam beneath exercise room or if temporary shims should be removed.
Shim Size - Shims above support columns typically should run full length of column bearing surface for the width of the beam. These shims should be of a non compressible material. Proper corrections are recommended to prevent unnecessary settlement.



Concrete Block - verify with house plans whether proper shims should be added at lam beam beneath exercise room or if temporary shims should be removed.

6. Foundation Ventilation

Rear crawl space vent at patio has been abandoned and suspect fungus was observed. Some crawl space vents are obstructed by concrete block and can not function. Properly correct crawl space ventilation as needed to protect structure.



Rear crawl space vent at patio has been abandoned and suspect fungus was observed. Some crawl space vents are obstructed by concrete block and can not function. Properly correct crawl space ventilation as needed to protect structure.



Concrete block prevents air flow into crawl space at foundation vent



Correctly installed foundation vent

Central Heating and Cooling

The following opinion is based on an inspection of the readily accessible and visible portions of the central heating and cooling systems. These systems are tested using the normal operating controls only. Improperly maintained heating and cooling can cause uncomfortable areas, higher utility bills and safety concerns. Heating and Cooling installation conditions and functional issues requiring correction should be performed by a competent licensed mechanical contractor.

1. Installed Central Heating and Cooling

- Central Heating and Cooling System 1 System serves main level

Brand Furnace: Frigidaire / Location: Crawl Space / Fuel: Dual Fuel Heat Pump; gas and electric

Size: Size not confirmed / Date of Manufacture: 2010

Gas furnaces typically have a service life of 15-20 years when properly maintained

Filter Type: Disposable / Thermostat Type: Digital

Cooling Brand: Frigidaire / Location: Exterior / Fuel: Electric

Size: 5 ton / Date of Manufacture: 2010

Central AC units typically have a service life of 10-15 years when properly maintained

Condensate disposal method: Gravity drain piping - service annually

- Central Heating and Cooling System 2 System serves upstairs area

Brand Furnace: Frigidaire / Location: Attic / Fuel: Electric Heat Pump

Size: 2.5 Ton / Date of Manufacture: 2010

Heat pumps typically have a service life of 10-15 years when properly maintained

Filter Type: Disposable / Thermostat Type: Digital

Cooling Brand: Frigidaire / Location: Exterior / Fuel: Electric Heat Pump

Size: 2.5 ton / Date of Manufacture: 2010

Central AC units typically have a service life of 10-15 years when properly maintained

Condensate disposal method: Gravity drain piping - service annually

2. Heating Function

For downstairs unit

Backup heating run on heat pump

Fired OK - Inspector adjusted thermostat, system engaged and was found to be functional.

For upstairs unit

Run in cool only - Due to outside air temp, the heat pump was checked in cooling mode only.

3. Heating Flue

Flue appears acceptable for visible areas

Downstairs furnace flue

Plastic flue vents through wall

4. AC Function

For both units

Fired OK - Inspector adjusted thermostat, system engaged and was found to be functional.

Cooling system refrigerant lines need insulation - Sections of the insulation on the compressor lines appear to be missing. These lines should be suitably insulated for the proper operation of the compressor.



Cooling system refrigerant lines need insulation - Sections of the insulation on the compressor lines appear to be missing. These lines should be suitably insulated for the proper operation of the compressor.



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5. Duct

Observations: Metal and flexible duct installed

Flex duct observed in a bind in attic

Flex duct in a bind - Flexible heating/cooling duct mashed or bound at turn. Flexible duct should be installed to allow free air flow and turns in flex duct require sufficient radius in duct to maintain air flow. Correct as needed.



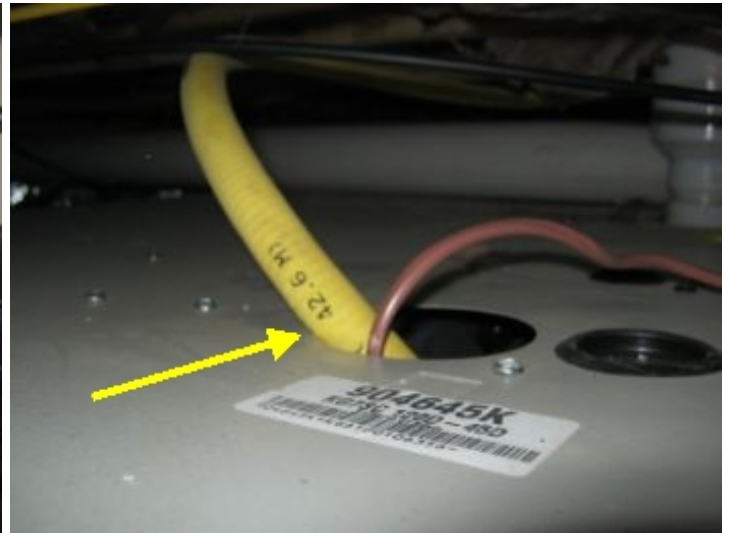
Flex duct observed in a bind in attic

6. Fuel

Questionable gas piping - A competent qualified pipe fitter should review the gas piping installation correcting where needed for function or safety.



Gas piping beneath range does not appear to be properly protected from physical damage



Gas piping not protected from physical damage at furnace



Questionable gas piping - A competent qualified pipe fitter should review the gas piping installation correcting where needed for function or safety.

7. Furnace Location Issue

Walk is missing at top of attic steps and where walk is present the flooring is not properly secured in place
Walkway to attic furnace - Service walk to attic furnace is missing or incomplete. Attic mounted furnaces should have a secured 24" wide walkway and a 30" wide service platform on the control side of furnace. Correction is needed for safety.

Fireplace/ Space heat-cool

The following opinion is based on an inspection of the readily accessible and visible portions of the fireplaces, other solid fuel burning systems and permanently installed space heating and cooling systems as present. Any type of space heating equipment should be serviced annually and maintain proper clearance from combustibles year round. Any conditions requiring correction should be performed by a competent qualified contractor.

1. Fireplace

Fireplace #1

Type: Wood Burning / Location: Dining Room

Fireplace #2

Type: Gas Logs Installed - Ventless Prefabricated Firebox / Location: Keeping Room

Fireplace #3

Type: Gas Logs Installed - Prefabricated Firebox / Location: Master Bedroom

Where installed

Logs Operated - The installed logs were operated using the normal operating controls. The unit appeared to be functioning normally. The inspector recommends that you read and follow the operating and safety instructions that accompany the installed gas logs.

Where installed

Damper Operated - The fireplace damper was opened and closed and functioned normally.

PERIODIC MAINTENANCE NEEDED

Refer to installation instructions for master bedroom fireplace gas appliance flue. Verify clearance for flue correcting if needed.

Electrical

The electrical system consists of an electrical service, distribution equipment and branch wiring. The electric metering equipment is usually at the electrical service. Distribution equipment is most often one or more installed breaker panels and the branch wiring runs to all equipment, receptacles, lighting outlets and devices such as the light switches. The inspection report focuses on wiring operating between 100-250 Volts. Most low voltage wiring is excluded from a home inspection report. Low voltage items such as a heating and cooling thermostat is operated in order to determine the function of such equipment.

The following opinion is based on an inspection of the readily accessible and visible portions of the electrical system. Electrical installation conditions and functional issues requiring correction should be performed by a competent licensed electrical contractor.

1. Electrical Service

Underground

200 Amp Service

2. Electrical Distribution

Observations:

200 Amps / 120/240 Volts / Breaker Panel
Panel Location:Garage

Panel Inspected - The cover was removed from the electrical panel. The interior components were viewed and found to be in satisfactory condition and appear to be properly installed. No repairs are needed to panel or interior components at this time.

3. Electrical Branch Wiring

Material: Nonmetallic-Sheathed Cable

Observations:

Unterminated wiring - Some wires viewed not terminated. Add wire nuts to all unterminated wiring in junction boxes/panel or otherwise properly terminate in junction box with cover as needed.

Wiring in crawl space is dangling and should be properly fastened in place to protect wiring from physical damage.



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Unterminated wiring - Some wires viewed not terminated. Add wire nuts to all unterminated wiring in junction boxes/panel or otherwise properly terminate in junction box with cover as needed.

4. Electrical Receptacle Outlets

Using a circuit tester, a representative number of grounding type electrical receptacles were randomly checked and correct wiring was indicated.

Furnishings were present during inspection limiting view and access to some areas.



Periodic Maintenance Needed- Install proper continuous use cover at rear exterior receptacle

5. Electrical GFCI

Observations:

Where installed

GFCI Ok - Using a ground fault circuit interrupter (GFCI) tester, receptacles were checked and indicated properly function.

6. Electrical Lighting Outlets

A representative number of installed lighting fixtures were observed and appeared to be functional and generally serviceable within the parameters of their given service life.

7. Smoke Alarms

Check - Check smoke alarms regularly and no less than twice a year when time changes. Refer to installation and care instructions for proper locations and periodic maintenance.

Plumbing

The following opinion is based on an inspection of the readily accessible and visible portions of the plumbing system. Plumbing installation conditions and functional issues requiring correction should be performed by a competent licensed plumbing contractor.

1. Supply Piping

Flow:

Adequate functional water flow observed
Piping:

The visible portions of water supply piping were found generally serviceable within the parameters of its given service life. No immediate repair concerns were observed.

Material: PEX

2. Waste Piping

Flow:

Functional waste water flow observed
Piping:

The visible portions of waste water piping were found generally serviceable within the parameters of its given service life. No immediate repair concerns were observed.

Material: Plastic

3. Gas Water Heater

Typical service life of a water heater is 8-12 years.

Date of manufacture

2010

Location:

Crawl Space
Size: Tank less

Water heater does not appear to have proper clearance from combustibles as wooden floor joists are less than six inches above water heater. Crawl space installation may not meet indoor installation requirement from manufacturer. Questionable installation - Water heater may not be installed correctly. Refer to installation instructions and have a competent contractor correct as needed for function and safety.

	to Combustibles		to Non-Combustibles	
	R50LSi R75LSi R94LSi	R98LSi	R50LSi R75LSi R94LSi	R98LSi
Top of Heater	6 inches (152 mm)	12 inches (305 mm)	2 inches (51 mm)	2 inches (51 mm)
Back of Heater	0 (zero)	0 (zero)	0 (zero)	0 (zero)
Front of Heater	6 inches (152 mm)	24 inches (610 mm)	6 inches (152 mm)	24 inches (610 mm)
Sides of Heater	2 inches (51 mm)	2 inches (51 mm)	1/2 inches (13 mm)	1/2 inches (13 mm)
Floor/	12 inches	12 inches	12 inches	2 inches



Water heater does not have proper clearance from combustibles as noted in installation instructions

Improper clearance to combustibles at water heater

4. Plumbing Equipment

Water pressure reducer was observed at garage

Water pressure was observed before and after pressure regulator above 80 PSI, adjust or replace pressure regulator as needed

Excess Water Pressure - Water pressure noted abnormally high. Typical water pressure is 40-80 PSI. Have plumber repair or replace pressure reducing valve. Excess pressure may cause toilets to run, leaks to develop or cause pressure/temperature valve at water heater to open.

5. Location of supply water shut off valves

At meter

At Garage

6. Plumbing Other

Observations: Two exterior hose faucets were observed
Functional

Interior

The following opinion is based on an inspection of the readily accessible and visible portions of the interior including Walls, Ceilings, Floors, Steps, Stairways, Balconies, Railings, and Doors. Cosmetic issues are not addressed for these areas but significant physical damage, questionable staining and significant improper function are addressed in this inspection report. Conditions requiring correction for these areas should be performed by a competent qualified contractor.

1. Access

Observations: Furnishings were present during inspection limiting view and access to some areas.

2. Walls

No adverse conditions were observed

Material: Drywall

3. Ceilings

No adverse conditions were observed

Material: Drywall

4. Flooring

No adverse conditions were observed

Carpet

Wood

5. Doors

Material:

A representative number of doors were operated and were found generally serviceable within the parameters of their given service life.

Fiberboard

Hollow

6. Interior Steps

No adverse conditions were observed

Wooden steps observed

7. Railings

No adverse conditions were observed

8. Windows

Materials:

Window screens are not required on homes with central air conditioning. Install screens where missing if desired.

Metal clad

Wood

A representative number of windows were operated and were found generally serviceable within the parameters of their given service life.

Kitchen

The following opinion is based on an inspection of the readily accessible and visible portions of the kitchen including counters and a representative number of cabinets. The following built in appliances are checked as part of this inspection report if present: Range, Cook top, Oven, Garbage Disposal, Microwave, Trash Compactor, Ventilation Equipment such as a Range Hood. Installed Dishwashers are run through a normal cycle. Appliance inspection does not cover clocks, timers, self cleaning function, calibration or automatic functions. Refrigerators are outside the scope of this inspection and only their presence or absence is noted. Installation conditions and functional issues for this area requiring correction should be performed by a competent qualified contractor.

1. Countertop

Countertop Acceptable - The countertop was inspected and found to be generally serviceable within the parameters of its given service life

Material: Granite

2. Cabinets

Cabinets Acceptable - A representative number of built-in cabinets were inspected and found to be generally serviceable within the parameters of their given service life

Material: Wood

3. Kitchen Sink and Faucet

Observations: No Leaks Observed - The inspected faucet was run for longer than one minute. No leaks were viewed at the visible supply lines, faucet or the visible waste drain lines just beneath the sink.
Double Bowl Plastic

4. Range / Oven

Observations: Both range and oven were checked
Gas Range and Separate Electric Oven

5. Disposal

Functional - The inspected item was checked and appears to be functioning normally.

6. Dishwasher

Dishwasher Functional - The dishwasher was run through a normal wash cycle and appeared to be functioning. Additionally, no leaks were observed about the dishwasher during the inspection.

Dishwasher service life - Typically dishwashers are designed to last approximately 10 years.

7. Microwave

Microwave - Permanently Installed

On/Off Tested - Inspected appliance was turned on and off by the normal operating controls. The main function of the appliance appeared to be operating normally. Inspector does not test calibration of appliances or check the function of optional equipment on appliances.

8. Cooking Ventilation

Above Range

Exterior exhaust unit appears functional

9. Kitchen Floor

Observations: Material: Wood

No adverse conditions were observed

10. Laundry Connections

Observations:

Laundry appliances were present but were not operated by the inspector as they are outside the scope of a home inspection and typically do not convey with the home.

11. Laundry Sink

No Leaks Observed - The inspected faucet was run for longer than one minute. No leaks were viewed at the visible supply lines, faucet or the visible waste drain lines just beneath the sink.

12. Refrigerator

A kitchen refrigerator was present but was not checked by the inspector as they are outside the scope of a home inspection and typically do not convey with the home. Areas concealed by the refrigerator were not observed.

Bath 1

The following opinion is based on an inspection of the readily accessible and visible portions of the bathrooms. Installation conditions and functional issues for this area requiring correction should be performed by a competent qualified contractor.

1. Bathroom Plumbing Fixtures

LOCATION: Master Bath

Installed Fixtures

Bathing: Hydro massage tub and separate shower

Sink: Two basins in vanity

Toilet: Water tank type

Shower Area Acceptable - The inspected faucet was run for no less than five minutes checking the tub and shower flow as present. No visible leaks were observed during the inspection and the water containment area appeared serviceable.

Toilet

Functional - The toilet was flushed no less than two times. On each operation the toilet refilled and shut off properly. No leaks were noted at toilet.

LOCATION: Master Bath

Unsupported Tub - Floor of tub does not appear to be properly supported and tub may be suspended by tub rim only. Check tub installation instructions and properly correct as needed.



Unsupported Tub - Floor of tub does not appear to be properly supported and tub may be suspended by tub rim only. Check tub installation instructions and properly correct as needed.

2. Ventilation Type

Fan on/off tested - The bathroom vent fan was switched on and the sound heard appeared to be appropriate for the fan. It is beyond the scope of the home inspection to determine the effectiveness of the bathroom fan such as to verify air flow quantity or discharge location.

3. Bath Floor

No adverse conditions were observed

Material: Tile

Bath 2

1. Bathroom Plumbing Fixtures

LOCATION: Upstairs hall bath

Installed Fixtures

Bathing: Combination tub and shower

Sink: Vanity with basin

Toilet: Water tank type

Bathing Area Acceptable - The inspected faucet was run for no less than five minutes checking the tub and shower flow as present. No visible leaks were observed during the inspection and the water containment area appeared serviceable.

Sink

No Leaks Observed - The inspected faucet was run for longer than one minute. No leaks were viewed at the visible supply lines, faucet or the visible waste drain lines just beneath the sink.

LOCATION: Upstairs Hall Bath

Toilet Sluggish Flush - The toilet flushed but water flow was slow, or sluggish. This may indicate a blockage of some type. Have plumber further evaluate toilet and properly repair as needed.

2. Ventilation Type

Type:

Fan on/off tested - The bathroom vent fan was switched on and the sound heard appeared to be appropriate for the fan. It is beyond the scope of the home inspection to determine the effectiveness of the bathroom fan such as to verify air flow quantity or discharge location.

3. Bath Floor

No adverse conditions were observed

Material: Tile

Bath 3

1. Bathroom Plumbing Fixtures

LOCATION: Bath Locations

Installed Fixtures

Bathing: Combination tub and shower

Bathing Area Acceptable - The inspected faucet was run for no less than five minutes checking the tub and shower flow as present. No visible leaks were observed during the inspection and the water containment area appeared serviceable.

Sink: Vanity with basin

No Leaks Observed - The inspected faucet was run for longer than one minute. No leaks were viewed at the visible supply lines, faucet or the visible waste drain lines just beneath the sink.

Toilet: Water tank type

Toilet Functional - The toilet was flushed no less than two times. On each operation the toilet refilled and shut off properly. No leaks were noted at toilet.

2. Ventilation Type

Type:

Fan on/off tested - The bathroom vent fan was switched on and the sound heard appeared to be appropriate for the fan. It is beyond the scope of the home inspection to determine the effectiveness of the bathroom fan such as to verify air flow quantity or discharge location.

3. Bath Floor

No adverse conditions were observed

Material: Tile

Report Summary

Attic		
Page 8 Item: 1	Attic Access	<p>Pull down stair nails - Attic pull down steps are missing required 16d nails at metal spring arm pivot plates and corner brackets near the piano hinge. These should be properly nailed for safety. Refer to installation instructions and correct as needed.</p> <p>Pull down stair small screws - Small screws should not be used to attach pull down attic steps to structural framing. Typical instructions require 16d nails or 1/4" diameter three inch long lag screws. A competent contractor should refer to instructions and correct for safety and to prevent collapse of attic steps.</p> <p>Instructions not followed - The observed installation appears irregular and may not meet the manufacturer installation instructions provided with the item. Refer to the instructions and properly correct installation as needed for safety and function.</p>
Page 9 Item: 2	Attic Framing	<p>Some roof rafters have large open gaps where rafter should meet ridge board. Some rafters have shims between rafters and ridge board. Since home is nearly new construction the inspector recommends installing sister rafters of no less than six foot in length at all areas where rafters have gaps or have shims to prevent unwanted settlement. Use proper size and quantity nails in a staggered pattern to properly share load of original rafter and sister rafter.</p>
Foundation		
Page 11 Item: 4	Crawl Space Floor Framing	<p>Observed at floor joist sacrificed for water heater flue Sacrificed Floor Framing - Wood framing noted sacrificed in area listed. Usually this is to accommodate plumbing, electrical or heat/air installation. Area viewed has not been properly braced to restore strength of framing sacrificed. Additional repair is recommended.</p> <p>Observed at area near rear patio at abandoned crawl space vent Suspect fungi observed - The inspector recommends further evaluation by a specialist properly correcting as needed. The presence of fungus is typically a secondary condition being the result of an excess moisture condition in the area. The first step in correcting a fungus condition is to determine the source of moisture and eliminate it, if possible.</p>
Page 11 Item: 5	Column	<p>Concrete Block - verify with house plans whether proper shims should be added at lam beam beneath exercise room or if temporary shims should be removed.</p> <p>Shim Size - Shims above support columns typically should run full length of column bearing surface for the width of the beam. These shims should be of a non compressible material. Proper corrections are recommended to prevent unnecessary settlement.</p>
Page 12 Item: 6	Foundation Ventilation	<p>Rear crawl space vent at patio has been abandoned and suspect fungus was observed. Some crawl space vents are obstructed by concrete block and can not function. Properly correct crawl space ventilation as needed to protect structure.</p>
Central Heating and Cooling		
Page 14 Item: 4	AC Function	<p>Cooling system refrigerant lines need insulation - Sections of the insulation on the compressor lines appear to be missing. These lines should be suitably insulated for the proper operation of the compressor.</p>
Page 15 Item: 5	Duct	<p>Flex duct observed in a bind in attic Flex duct in a bind - Flexible heating/cooling duct mashed or bound at turn. Flexible duct should be installed to allow free air flow and turns in flex duct require sufficient radius in duct to maintain air flow. Correct as needed.</p>
Page 16 Item: 6	Fuel	<p>Questionable gas piping - A competent qualified pipe fitter should review the gas piping installation correcting where needed for function or safety.</p>

Page 16 Item: 7	Furnace Location Issue	Walk is missing at top of attic steps and where walk is present the flooring is not properly secured in place Walkway to attic furnace - Service walk to attic furnace is missing or incomplete. Attic mounted furnaces should have a secured 24" wide walkway and a 30" wide service platform on the control side of furnace. Correction is needed for safety.
Electrical		
Page 19 Item: 3	Electrical Branch Wiring	Unterminated wiring - Some wires viewed not terminated. Add wire nuts to all unterminated wiring in junction boxes/panel or otherwise properly terminate in junction box with cover as needed. Wiring in crawl space is dangling and should be properly fastened in place to protect wiring from physical damage.
Plumbing		
Page 22 Item: 3	Gas Water Heater	Water heater does not appear to have proper clearance from combustibles as wooden floor joists are less than six inches above water heater. Crawl space installation may not meet indoor installation requirement from manufacturer. Questionable installation - Water heater may not be installed correctly. Refer to installation instructions and have a competent contractor correct as needed for function and safety.
Page 22 Item: 4	Plumbing Equipment	Water pressure was observed before and after pressure regulator above 80 PSI, adjust or replace pressure regulator as needed Excess Water Pressure - Water pressure noted abnormally high. Typical water pressure is 40-80 PSI. Have plumber repair or replace pressure reducing valve. Excess pressure may cause toilets to run, leaks to develop or cause pressure/temperature valve at water heater to open.
Bath 1		
Page 27 Item: 1	Bathroom Plumbing Fixtures	LOCATION: Master Bath Unsupported Tub - Floor of tub does not appear to be properly supported and tub may be suspended by tub rim only. Check tub installation instructions and properly correct as needed.
Bath 2		
Page 29 Item: 1	Bathroom Plumbing Fixtures	LOCATION: Upstairs Hall Bath Toilet Sluggish Flush - The toilet flushed but water flow was slow, or sluggish. This may indicate a blockage of some type. Have plumber further evaluate toilet and properly repair as needed.